

LOT 496 (#45) MOORE STREET, PORT HEDLAND
(CORNER OF MOORE AND SIMPSON STREET)

ARCHITECTURAL DOCUMENT REGISTER

- DA01.1 COVER PAGE
- DA01.2 LOCALITY PLAN & ARCHITECTURAL REGISTER

- DA02.1 SITE PLAN OVERALL
- DA02.2 DEMOLITION PLAN
- DA02.2 SITE PLAN DETAILED 'A'
- DA02.3 SITE PLAN DETAILED 'B'
- DA02.4 OVERALL SHADOW DIAGRAM
- DA02.5 LANDSCAPING DETAILED LAYOUT 'A'
- DA02.6 LANDSCAPING DETAILED LAYOUT 'B'

- DA03.1 MASTER SCHEMATIC STORMWATER LAYOUT PLAN
- DA03.2 MASTER SCHEMATIC ROOF LAYOUT PLAN

- DA04.1 MASTER UNIT GROUND FLOOR LAYOUT PLAN
- DA04.2 MASTER UNIT UPPER FLOOR LAYOUT PLAN
- DA04.3 MASTER UNIT LOFT FLOOR LAYOUT PLAN

- DA05.1 UNIT TYPE 'A' FLOOR PLANS (UNIT 1)
- DA05.2 UNIT TYPE 'B' FLOOR PLANS (UNIT 2)
- DA05.3 UNIT TYPE 'C' FLOOR PLANS (UNIT 3) - UNIT DELETED
- DA05.4 UNIT TYPE 'D' FLOOR PLANS (UNITS 4,5 & 6)
- DA05.5 UNIT TYPE 'E' FLOOR PLANS (UNITS 7,8,10 & 11)
- DA05.6 UNIT TYPE 'F' FLOOR PLANS (UNITS 9 & 12)

- DA06.1 EASTERN ELEVATION (SIMPSON STREET)
- DA06.2 WESTERN ELEVATION
- DA06.3 SOUTHERN ELEVATION (MOORE STREET)
- DA06.4 NORTHERN ELEVATION

- DA07.1 STREET PERSPECTIVE MOORE STREET
- DA07.2 STREET PERSPECTIVE CORNER OF MOORE AND SIMPSON STREET
- DA07.3 STREET PERSPECTIVE SIMPSON STREET



D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

issue	revision/reason for issue	date
-------	---------------------------	------

45 MOORE STREET UNITS
K5B DEVELOPMENTS

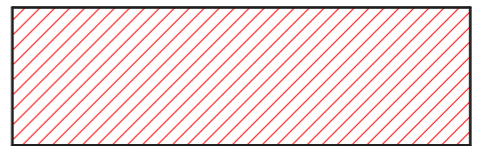
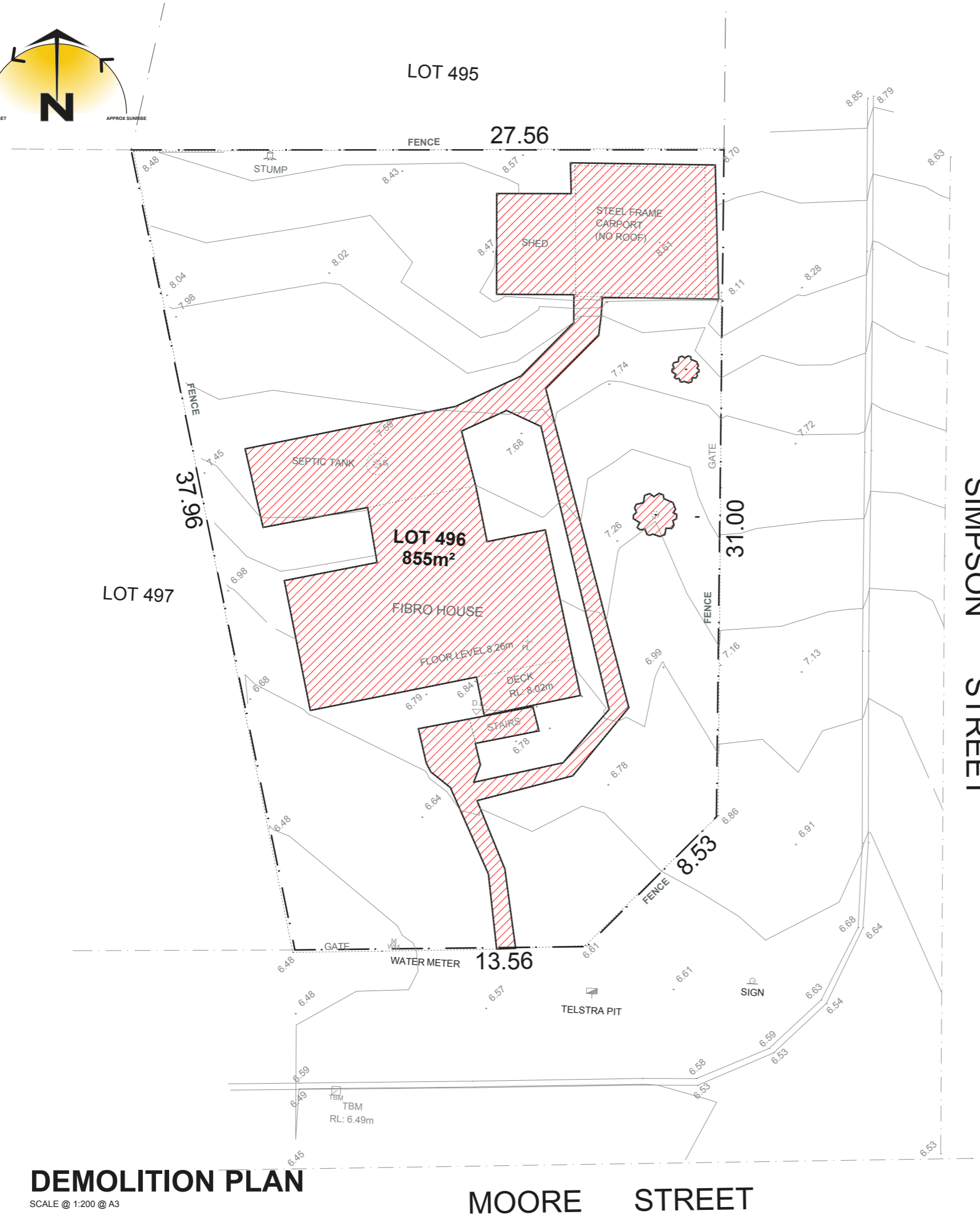
LOT 496 (#45) MOORE STREET, PORT HEDLAND
LOCALITY PLAN & ARCHITECTURAL REGISTER

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA01.2 **D** REVISION

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



DEMOLITION NOTE:
 ALL AREAS SHOWN W/- HATCHED FILL ALLOW FOR THE FOLLOWING.
 ALLOW TO UNDERTAKE ALL DEMOLITION WORKS OF EXISTING BUILDING STRUCTURE TO SUIT PROPOSED WORKS. ALL SERVICES TO BE DISCONNECTED, CAPPED & MARKED AS REQUIRED

DEMOLITION PLAN

SCALE @ 1:200 @ A3

MOORE STREET

SIMPSON STREET

C	AMENDED DA APPLICATION	10.06.14
B	DEVELOPMENT APPLICATION	09.02.14
A	FINAL BUILDER & CONSULT. REVIEW	19.01.14

issue revision/reason for issue date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
DEMOLITION PLAN

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA02.2

C
REVISION

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

UNIT RL LEGEND

UNIT 1 (TYPE A)	FFL @ 8.100
UNIT 2 (TYPE B)	FFL @ 11.300
UNIT 3 (TYPE C)	DELETED
UNIT 4 (TYPE D)	FFL @ 8.100
UNIT 5 (TYPE D)	FFL @ 8.100
UNIT 6 (TYPE D)	FFL @ 8.100
UNIT 7 (TYPE E)	FFL @ 10.400
UNIT 8 (TYPE E)	FFL @ 10.400
UNIT 9 (TYPE F)	FFL @ 10.400
UNIT 10 (TYPE E)	FFL @ 13.600
UNIT 11 (TYPE E)	FFL @ 13.600
UNIT 12 (TYPE F)	FFL @ 13.600

EXISTING SERVICE CONNECTIONS TO BE CONFIRMED ON SITE DURING BL STAGE AND RELOCATED AS REQUIRED IN CONSULTATION WITH SPECIFIC TECHNICAL CONSULTANTS.

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

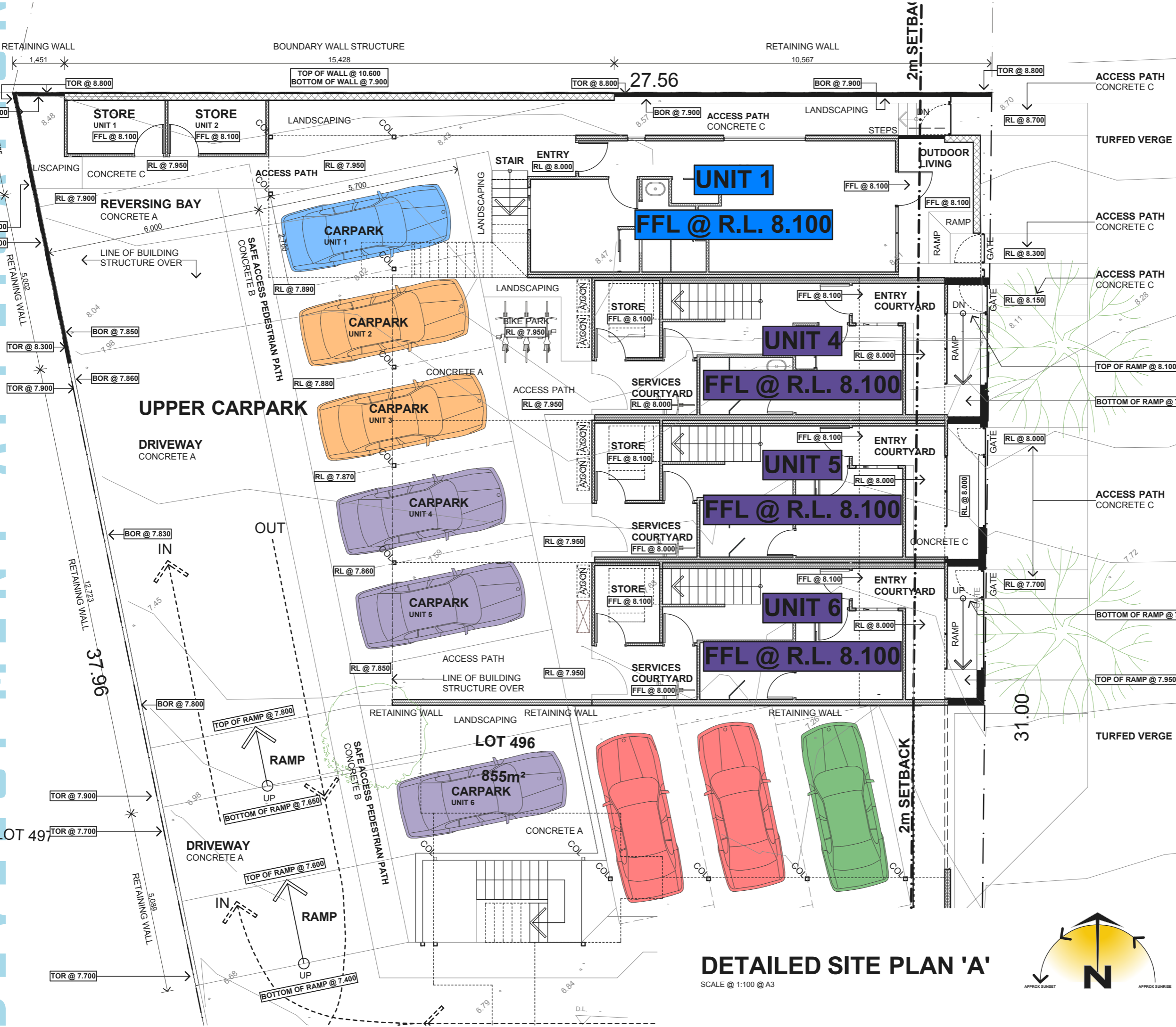
45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
SITE DETAILED PLAN A

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA02.3 **D** REVISION

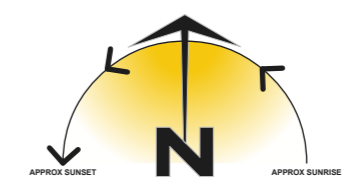
PLOT DATE: Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



DETAILED SITE PLAN 'A'

SCALE @ 1:100 @ A3



45 MOORE

UNIT RL LEGEND

UNIT 1 (TYPE A)	FFL @ 8.100
UNIT 2 (TYPE B)	FFL @ 11.300
UNIT 3 (TYPE C)	DELETED
UNIT 4 (TYPE D)	FFL @ 8.100
UNIT 5 (TYPE D)	FFL @ 8.100
UNIT 6 (TYPE D)	FFL @ 8.100
UNIT 7 (TYPE E)	FFL @ 10.400
UNIT 8 (TYPE E)	FFL @ 10.400
UNIT 9 (TYPE F)	FFL @ 10.400
UNIT 10 (TYPE E)	FFL @ 13.600
UNIT 11 (TYPE E)	FFL @ 13.600
UNIT 12 (TYPE F)	FFL @ 13.600

EXISTING SERVICE CONNECTIONS TO BE CONFIRMED ON SITE DURING BL STAGE AND RELOCATED AS REQUIRED IN CONSULTATION WITH SPECIFIC TECHNICAL CONSULTANTS.

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13
issue	revision/reason for issue	date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
 SITE DETAILED PLAN B

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA02.4 **D** REVISION

PLOT DATE Tuesday, June 10, 2014

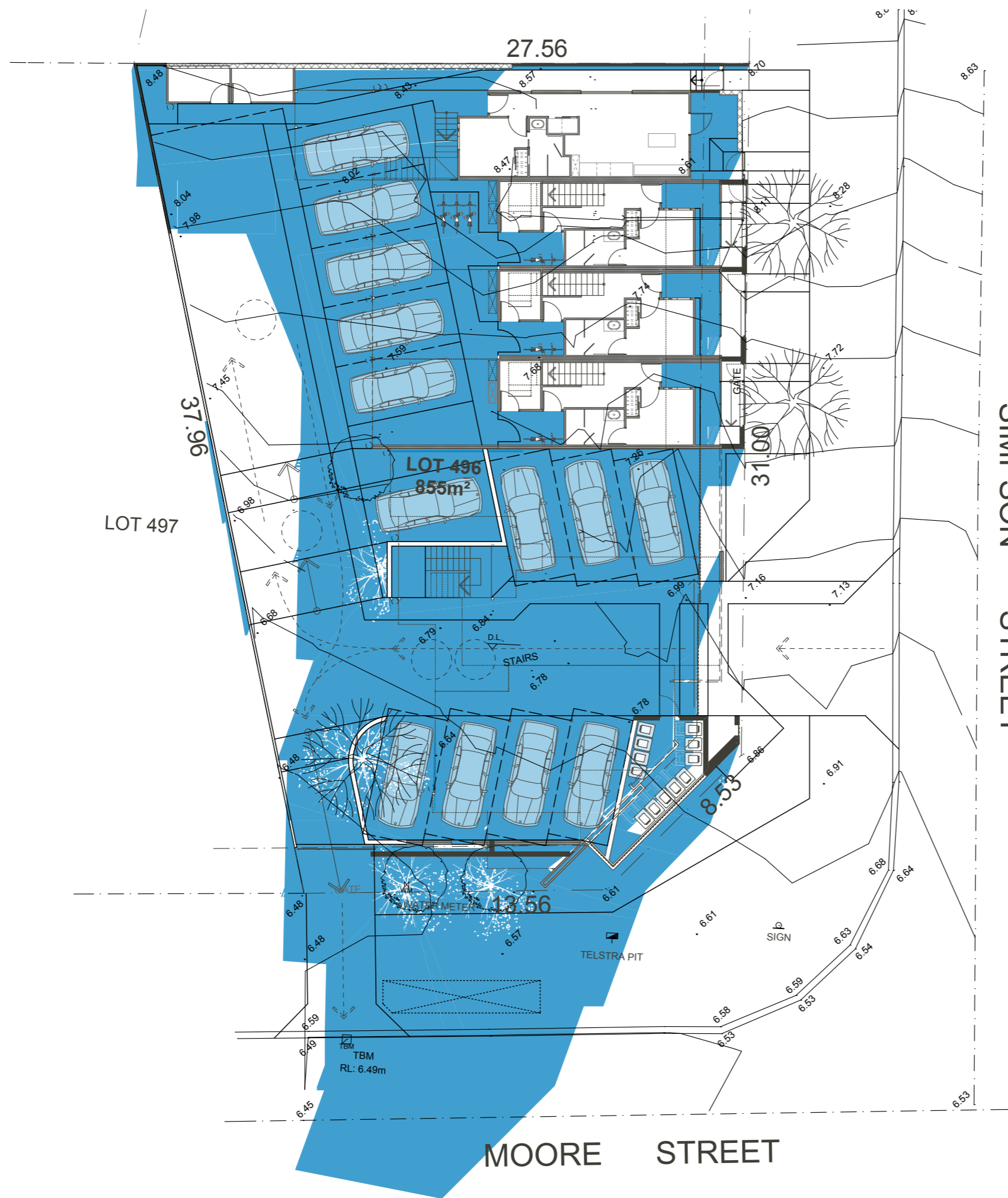
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



DETAILED SITE PLAN 'B'

SCALE @ 1:100 @ A3





SHADOW DIAGRAM:



ALL AREAS SHOWN W/- HATCHED FILL REPRESENT THE SHADOW PATTERN APPROX OF WINTER SOLISTCE

JUNE 22nd 12.00 NOON

SIMPSON STREET

STREET

OVERALL SITE SHADOW DIAGRAM

SCALE @ 1:200 @ A3

C	AMENDED DA APPLICATION	10.06.14
B	DEVELOPMENT APPLICATION	09.02.14
A	FINAL BUILDER & CONSULT. REVIEW	19.01.14
issue	revision/reason for issue	date

45 MOORE STREET UNITS

K5B DEVELOPMENTS

LOT 496 (#45) MOORE STREET, PORT HEDLAND

OVERALL SITE SHADOW DIAGRAM

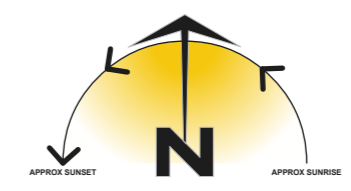
designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA02.5

C
REVISION

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



45 MOORE

LANDSCAPING LEGEND

- SOFTSCAPE**
- FEATURE MEDIUM TREE**
eg. COTTONWOOD, HIBISCUS - HIBISCUS, TILIACEUS
 - FEATURE LARGE TREE**
eg. POINCIANA TREE - DELONIX REGIA
 - LARGE INFILL PLANT**
eg. LEMON GRASS - CYMBOPOGON CITRATUS
 - LARGE FEATURE PLANT**
eg. COCONUT MIST PHORIUM
 - MEDIUM INFILL PLANT**
eg. TANIKA LOMANDRA
 - MEDIUM INFILL PLANT**
eg. PURPLE LEA - PENNISETUM ALOPECUROIDES
 - MEDIUM FEATURE PLANT**
eg. AGAVE CENTURY PLANT, AGAVE ATTENUATA
 - FEATURE DETAIL PLANTS**
eg. MOSES IN A CRADLE - TRADESCANTA SPATHACEA
 - FEATURE CLIMBER**
eg. STAR JASMINE
 - GROUND COVER**
eg. TRAILING LANTANA

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

45 MOORE STREET UNITS

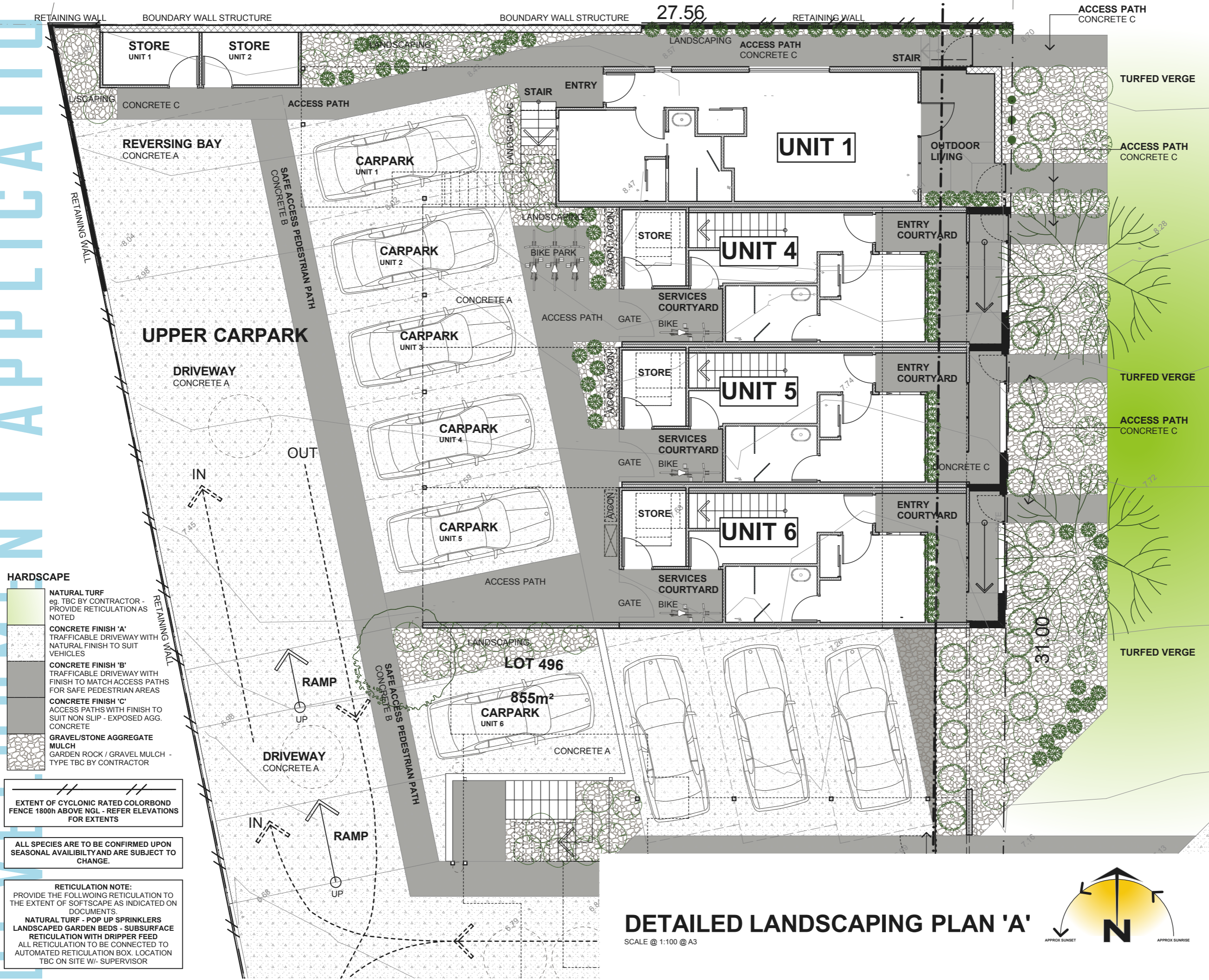
K5B DEVELOPMENTS

LOT 496 (#45) MOORE STREET, PORT HEDLAND
LANDSCAPING DETAILED LAYOUT A

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA02.6 **D** REVISION

PLOT DATE: Tuesday, June 10, 2014
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



- HARDSCAPE**
- NATURAL TURF**
eg. TBC BY CONTRACTOR - PROVIDE RETICULATION AS NOTED
 - CONCRETE FINISH 'A'**
TRAFFICABLE DRIVEWAY WITH NATURAL FINISH TO SUIT VEHICLES
 - CONCRETE FINISH 'B'**
TRAFFICABLE DRIVEWAY WITH FINISH TO MATCH ACCESS PATHS FOR SAFE PEDESTRIAN AREAS
 - CONCRETE FINISH 'C'**
ACCESS PATHS WITH FINISH TO SUIT NON SLIP - EXPOSED AGG. CONCRETE
 - GRAVEL/STONE AGGREGATE**
 - MULCH**
GARDEN ROCK / GRAVEL MULCH - TYPE TBC BY CONTRACTOR
- EXTENT OF CYCLONIC RATED COLORBOND FENCE 1800h ABOVE NGL - REFER ELEVATIONS FOR EXTENTS
- ALL SPECIES ARE TO BE CONFIRMED UPON SEASONAL AVAILIBTY AND ARE SUBJECT TO CHANGE.
- RETICULATION NOTE:**
PROVIDE THE FOLLWOING RETICULATION TO THE EXTENT OF SOFTSCAPE AS INDICATED ON DOCUMENTS.
NATURAL TURF - POP UP SPRINKLERS
LANDSCAPED GARDEN BEDS - SUBSURFACE RETICULATION WITH DRIPPER FEED
ALL RETICULATION TO BE CONNECTED TO AUTOMATED RETICULATION BOX. LOCATION TBC ON SITE W/- SUPERVISOR

DETAILED LANDSCAPING PLAN 'A'











SCALE @ 1:100 @ A3







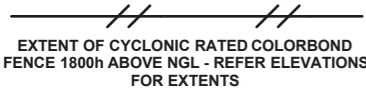


45 MOORE

LANDSCAPING LEGEND

SOFTSCAPE

-  **FEATURE MEDIUM TREE**
eg. COTTONWOOD
HIBISCUS - HIBISCUS
TILIACEUS
-  **FEATURE LARGE TREE**
eg. POINCIANA TREE -
DELONIX REGIA
-  **LARGE INFILL PLANT**
eg. LEMON GRASS -
CYMBOPOGON CITRATUS
-  **LARGE FEATURE PLANT**
eg. COCONUT MIST
PHORIUM
-  **MEDIUM INFILL PLANT**
eg. TANIKA LOMANDRA
-  **MEDIUM INFILL PLANT**
eg. PURPLE LEA -
PENNISSETUM
ALOPECUROIDES
-  **MEDIUM FEATURE PLANT**
eg. AGAVE CENTURY PLANT
AGAVE ATTENUATA
-  **FEATURE DETAIL PLANTS**
eg. MOSES IN A CRADLE -
TRADESCANTA SPATHACEA
-  **FEATURE CLIMBER**
eg. STAR JASMINE
-  **GROUND COVER**
eg. TRAILING LANTANA

- ### HARDSCAPE
-  **NATURAL TURF**
eg. TBC BY CONTRACTOR -
PROVIDE RETICULATION AS
NOTED
 -  **CONCRETE FINISH 'A'**
TRAFFICABLE DRIVEWAY WITH
NATURAL FINISH TO SUIT
VEHICLES
 -  **CONCRETE FINISH 'B'**
TRAFFICABLE DRIVEWAY WITH
FINISH TO MATCH ACCESS PATHS
FOR SAFE PEDESTRIAN AREAS
 -  **CONCRETE FINISH 'C'**
ACCESS PATHS WITH FINISH TO
SUIT NON SLIP - EXPOSED AGG.
CONCRETE
 -  **GRAVEL/STONE AGGREGATE**
 -  **MULCH**
GARDEN ROCK / GRAVEL MULCH -
TYPE TBC BY CONTRACTOR
-  EXTENT OF CYCLONIC RATED COLORBOND FENCE 1800h ABOVE NGL - REFER ELEVATIONS FOR EXTENTS
- ALL SPECIES ARE TO BE CONFIRMED UPON SEASONAL AVAILABILITY AND ARE SUBJECT TO CHANGE.
- RETICULATION NOTE:**
PROVIDE THE FOLLOWING RETICULATION TO THE EXTENT OF SOFTSCAPE AS INDICATED ON DOCUMENTS.
NATURAL TURF - POP UP SPRINKLERS
LANDSCAPED GARDEN BEDS - SUBSURFACE
RETICULATION WITH DRIPPER FEED
ALL RETICULATION TO BE CONNECTED TO AUTOMATED RETICULATION BOX. LOCATION TBC ON SITE W/- SUPERVISOR

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

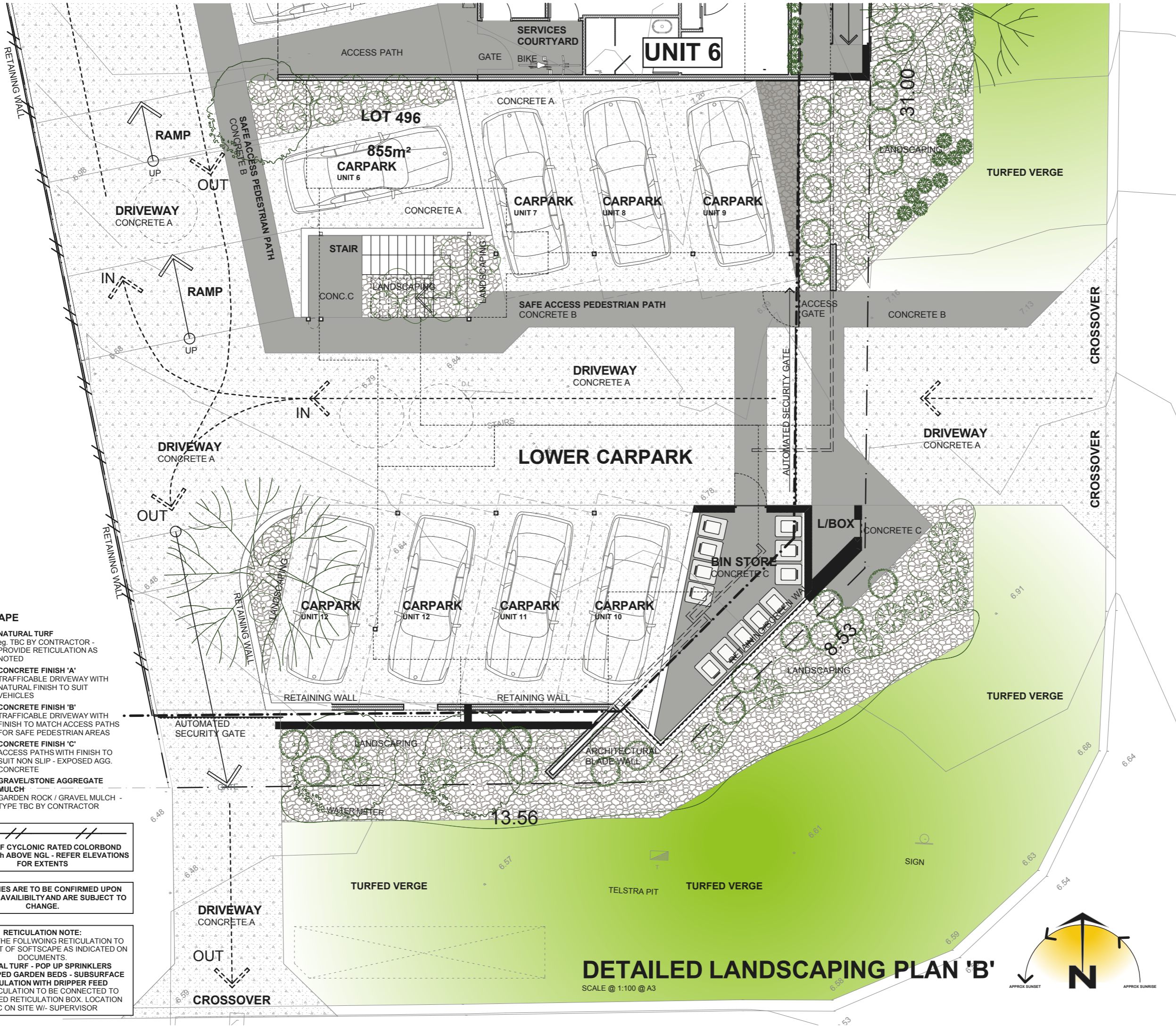
issue revision/reason for issue date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
LOT 496 (#45) MOORE STREET, PORT HEDLAND
LANDSCAPING DETAILED LAYOUT B

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA02.7 **D** REVISION

PLOT DATE Tuesday, June 10, 2014
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



DETAILED LANDSCAPING PLAN 'B'

SCALE @ 1:100 @ A3



MASTER SITE PLAN

SCALE @ 1:200 @ A3

MOORE STREET

DETAILED LANDSCAPING PLAN 'A'
REFER SHEET DA02.6

DETAILED SITE PLAN 'A'
REFER SHEET DA02.3

SITE LEGEND

LOT 496 (#45) MOORE STREET, PORT HEDLAND

UNIT CALCULATIONS

UNIT TYPE 'A' - UNIT #1	1 TOTAL
UNIT TYPE 'B' - UNIT #2	1 TOTAL
UNIT TYPE 'C' - UNIT #3 (DELETED)	0 TOTAL
UNIT TYPE 'D' - UNIT #4,5 & 6	3 TOTAL
UNIT TYPE 'E' - UNIT #7,8,10 & 11	4 TOTAL
UNIT TYPE 'F' - UNIT #9 & 12	2 TOTAL

TOTAL UNITS 11

CARBAY CALCULATIONS

RESIDENT CARBAYS	12 TOTAL
VISITOR CARBAYS	2 TOTAL

(NOTE: VISITORS CARBAY IN VERGE AREA - PAY IN LIEU)
(NOTE: CARBAYS HAVE BEEN CALCULATED AS PER APPENDIX 7 - CAR PARKING STANDARDS MULTIPLE DWELLINGS TPS 5)

TOTAL CARBAYS 14

SITE AREAS

R80 PLOT RATIO = 1.0
TOTAL SITE = 855m²

GROUND FLOOR TOTAL AREA	112.515 m ²
FIRST FLOOR TOTAL AREA	358.440 m ²
SECOND FLOOR TOTAL AREA	137.880 m ²

TOTAL PLOT RATIO AREA 608.835m²
TOTAL PERCENTAGE 71.209%

HARDSCAPE AREA	580.691 m ² (88.65%)
SOFTSCAPE AREA	74.34 m ² (11.35%)

LANDSCAPING TOTAL 660.230 m²
VERGE LANDSCAPED AREA (SOFTSCAPE AND PATHS ONLY)

SETBACK AND OVERLOOKING NOTE:
REFER MASTER FLOOR PLANS ON SHEET DA04.1, DA04.2 & DA04.3 FOR ALL EXTENTS OF SETBACKS AND OVERLOOKING VIEW CONES

DETAILED SITE PLAN 'B'
REFER SHEET DA02.4

DETAILED LANDSCAPING PLAN 'B'
REFER SHEET DA02.7

SHADOW DIAGRAM NOTE:
REFER SHEET DA02.5 FOR EXTENT OF OVERSHADOWING DIAGRAM

DEMOLITION NOTE:
REFER SHEET DA02.2 FOR EXTENT OF DEMOLITION WORKS TO EXISTING SITE AND RESIDENCE

DEMOLITION NOTE:
REFER SHEET DA02.2 FOR EXTENT OF DEMOLITION WORKS TO EXISTING SITE AND RESIDENCE



D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

45 MOORE STREET UNITS
K5B DEVELOPMENTS
LOT 496 (#45) MOORE STREET, PORT HEDLAND

SITE PLAN OVERALL

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

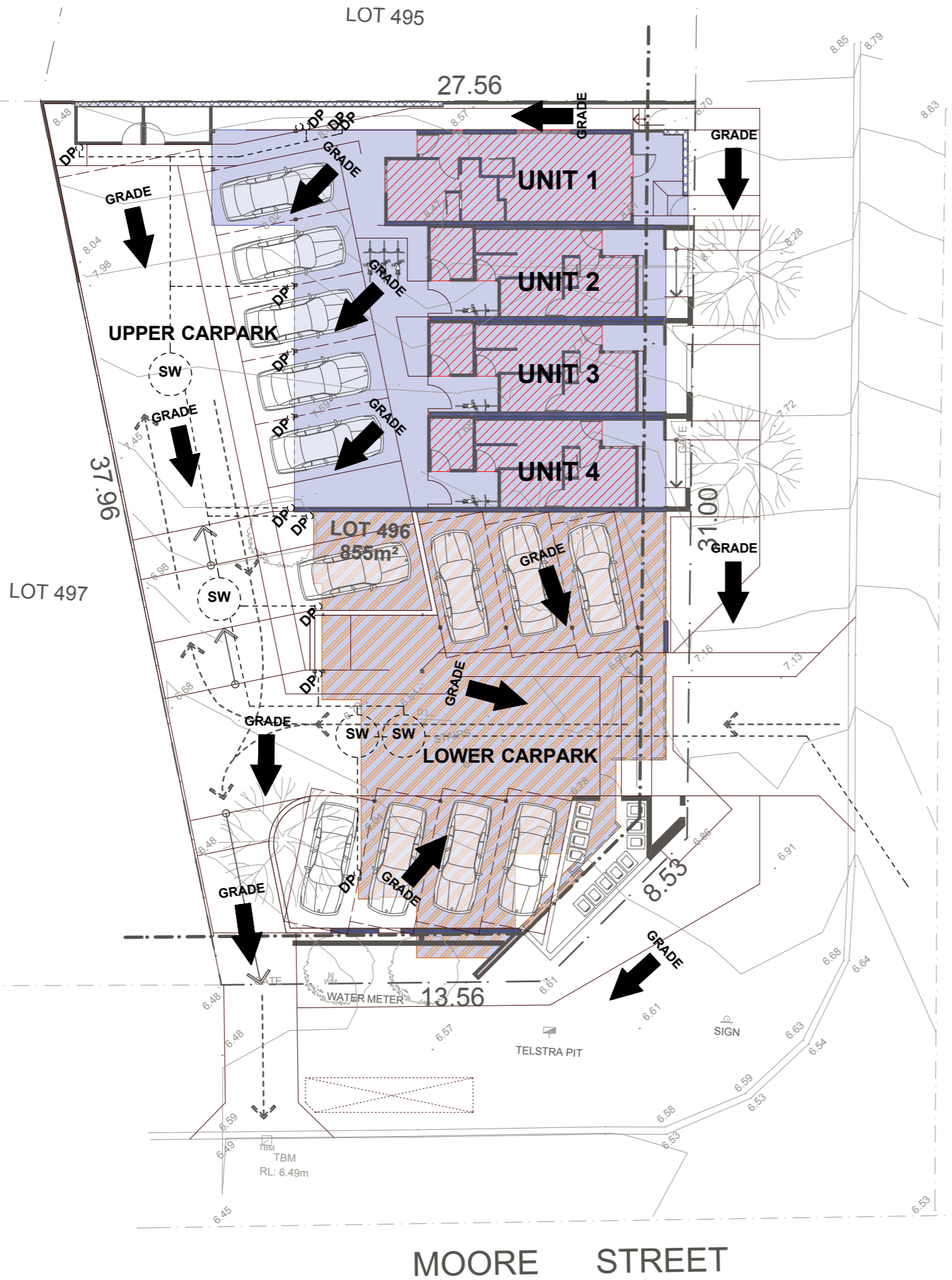
DA02.1 **D** REVISION

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

LOT 494

LOT 495



DOWNPIPE & CONNECTING PIPES

SW
1.8dia x 1.8deep SOAKWELL
LOCATIONS PRELIMINARY ONLY
AND TBC IN CONSULTATION W/
ENGINEER

**ARROW INDICATE DIRECTION OF
STORMWATER FLOW PATH.
GRADE ALL FALLS IN
LANDSCAPING TO SUIT ON SITE**

GROUND FLOOR STRUCTURE
EXTENTS OF GROUND FLOOR
UNITS SHOWN WITH HATCHED FILL

FIRST FLOOR STRUCTURE
EXTENTS OF FIRST FLOOR UNITS
ABOVE SHOWN WITH HATCHED FILL

SECOND FLOOR STRUCTURE
EXTENTS OF SECOND FLOOR UNITS
ABOVE SHOWN WITH HATCHED FILL

PROVIDE BARRIERS TO BASE OF FENCING AS
REQUIRED WHERE CHANGE LEVELS EXPOSE
NEIGHBOURS LOT. CONFIRM ON SITE AND
PROVIDE INFILL TOP SUIT

STORMWATER DESIGN SHOWN FOR
ILLUSTRATION PURPOSES ONLY AND TO
BE DESIGNED BY QUALIFIED ENGINEER
DURING BUILDING LICENCE STAGE.



SIMPSON STREET

MOORE STREET

MASTER SCHEMATIC STORMWATER PLAN

SCALE @ 1:200 @ A3

C	AMENDED DA APPLICATION	10.06.14
B	DEVELOPMENT APPLICATION	09.02.14
A	FINAL BUILDER & CONSULT. REVIEW	19.01.14
issue	revision/reason for issue	date

45 MOORE STREET UNITS

K5B DEVELOPMENTS

LOT 496 (#45) MOORE STREET, PORT HEDLAND

MASTER SCHEMATIC STORMWATER PLAN

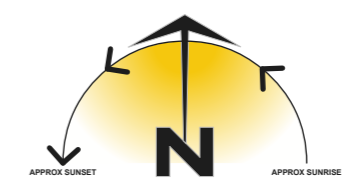
designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

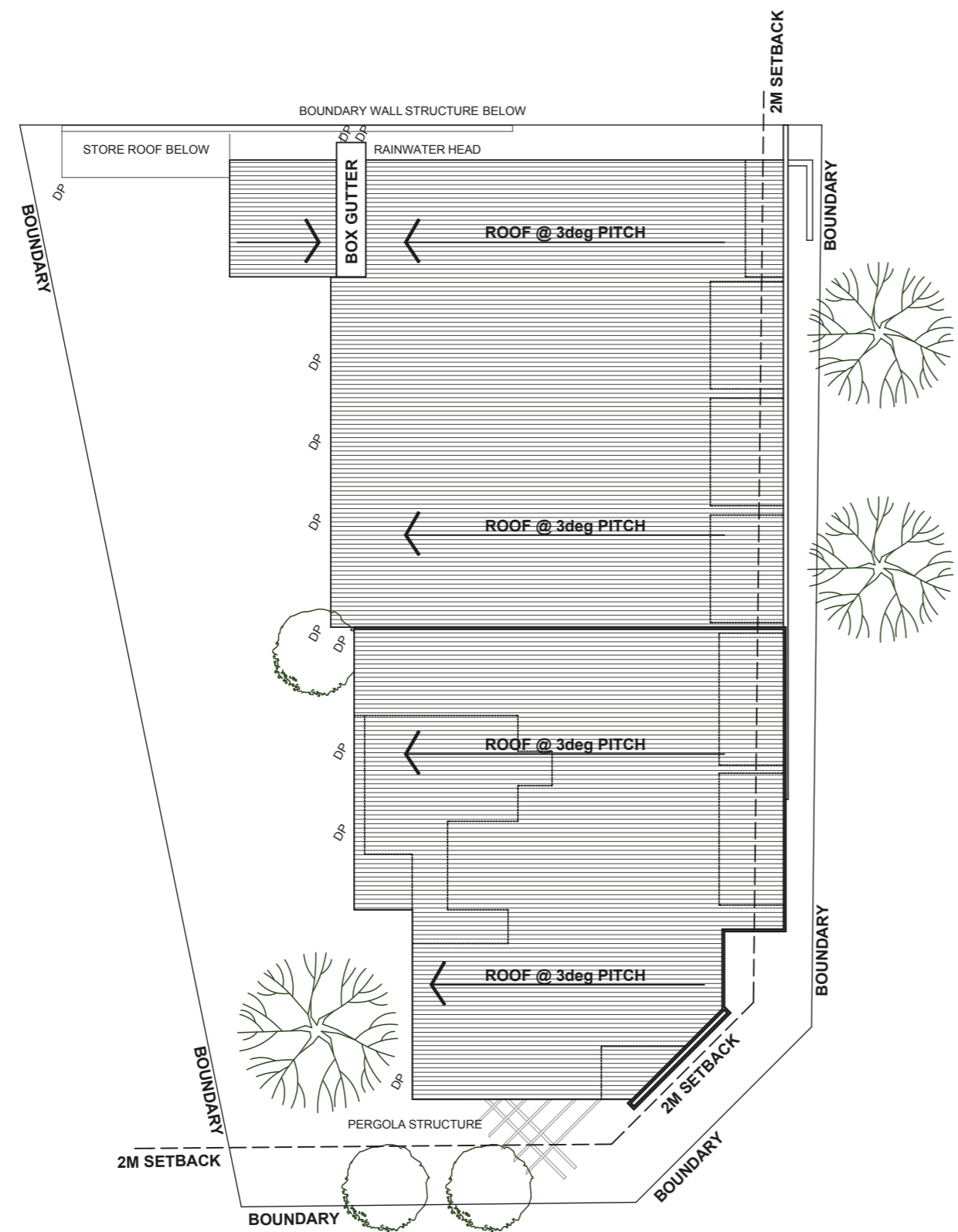
DA03.1

C
REVISION

PLOT DATE Tuesday, June 10, 2014

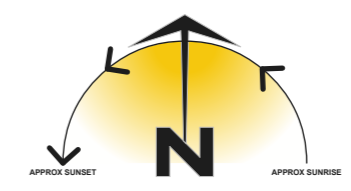
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR





MASTER SCHEMATIC ROOF LAYOUT

SCALE @ 1:200 @ A3



C	AMENDED DA APPLICATION	10.06.14
B	DEVELOPMENT APPLICATION	09.02.14
A	FINAL BUILDER & CONSULT. REVIEW	19.01.14
issue	revision/reason for issue	date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND

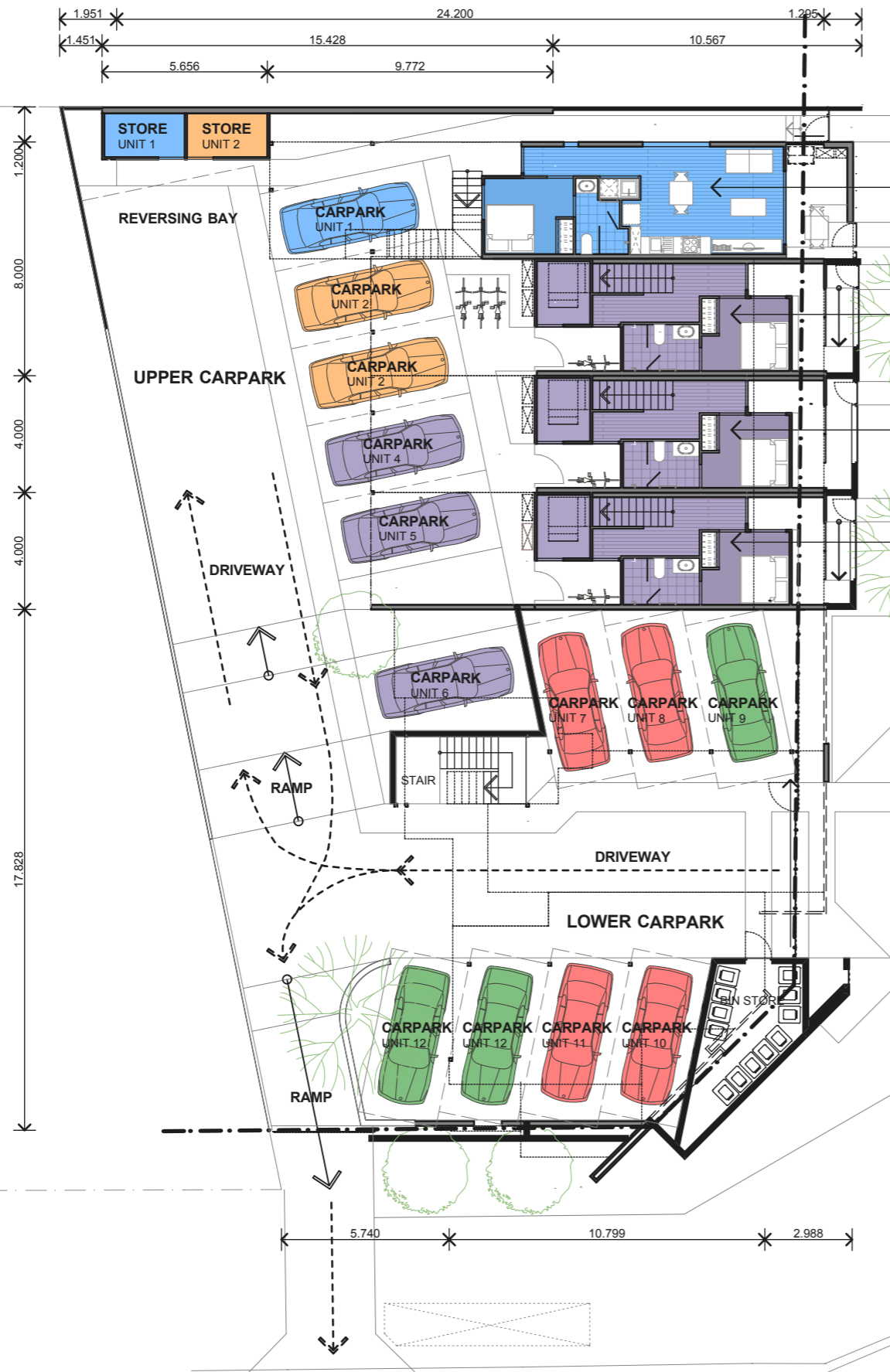
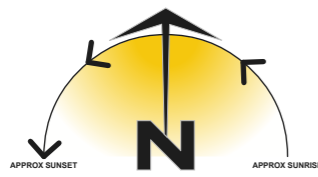
MASTER SCHEMATIC ROOF LAYOUT PLAN

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA03.2 C REVISION

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



NOTE: UNIT 3 / TYPE C IS DELETED AND REMOVED FROM APPLICATION

- UNIT 1 - UNIT TYPE 'A'**
REFER SHEET DA05.1 FOR DETAILS
- UNIT 4 - UNIT TYPE 'D'**
REFER SHEET DA05.4 FOR DETAILS
- UNIT 5 - UNIT TYPE 'D'**
REFER SHEET DA05.4 FOR DETAILS
- UNIT 6 - UNIT TYPE 'D'**
REFER SHEET DA05.4 FOR DETAILS

SIMPSON STREET

NOTE : REFER TO INDIVIDUAL UNIT LAYOUTS FOR UNIT SPECIFIC INFORMATION

H	AMENDED DA APPLICATION	10.06.14
G	REDESIGN LDRY - UNIT TYPE A, B & C	08.05.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue revision/reason for issue date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
MASTER UNIT GF LAYOUT PLAN

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

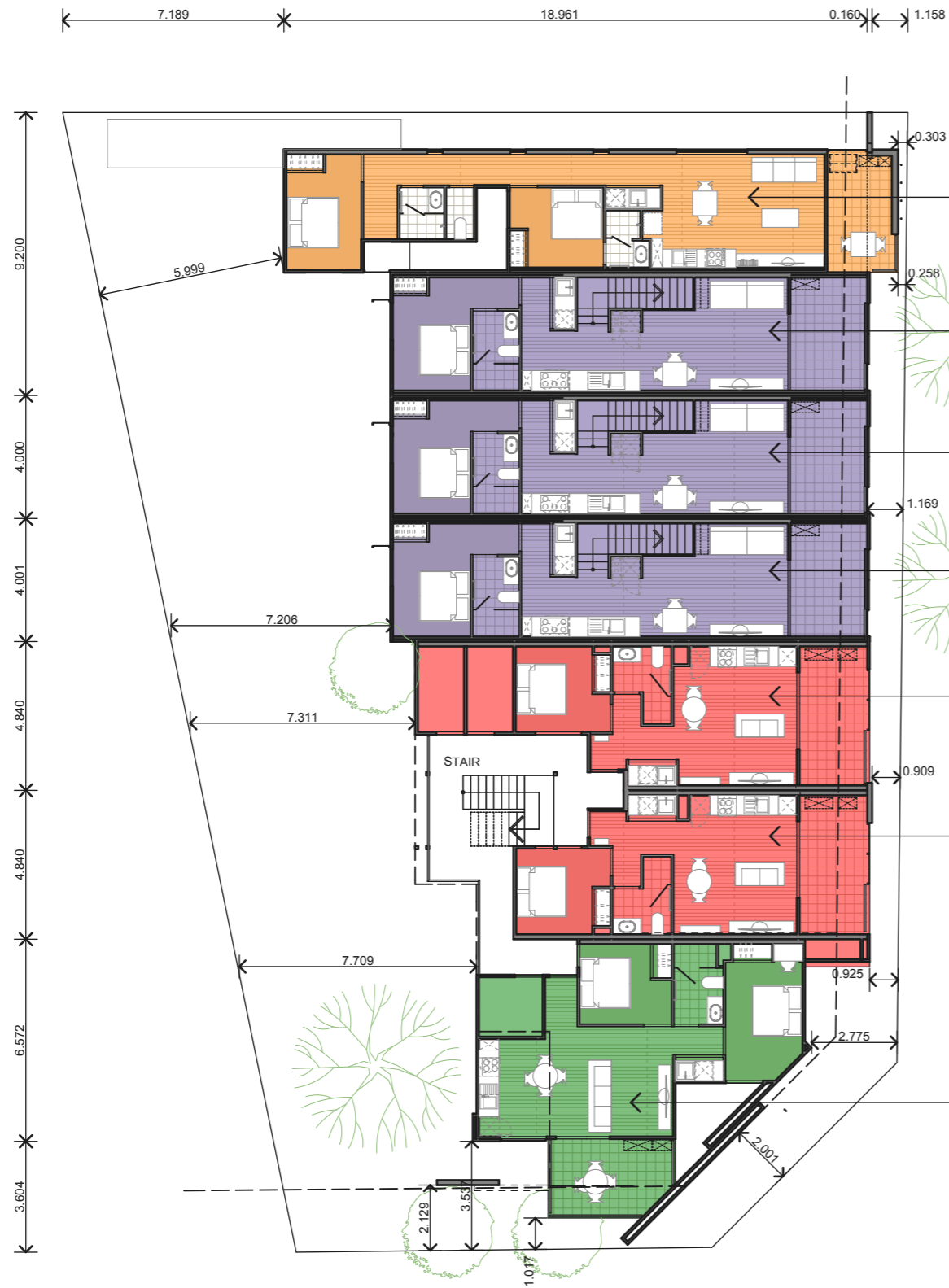
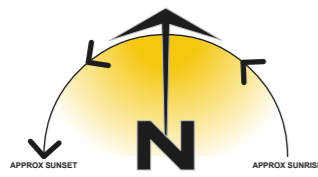
DA04.1 **H** REVISION

PLOT DATE **Tuesday, June 10, 2014**
 THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

MASTER GROUND FLOOR UNIT PLAN

SCALE @ 1:100 @ A3

MOORE STREET



NOTE: UNIT 3 / TYPE C IS DELETED AND REMOVED FROM APPLICATION

UNIT 2 - UNIT TYPE 'B'
REFER SHEET DA05.2 FOR DETAILS

UNIT 4 - UNIT TYPE 'D'
REFER SHEET DA05.4 FOR DETAILS

UNIT 5 - UNIT TYPE 'D'
REFER SHEET DA05.4 FOR DETAILS

UNIT 6 - UNIT TYPE 'D'
REFER SHEET DA05.4 FOR DETAILS

UNIT 7 - UNIT TYPE 'E'
REFER SHEET DA05.5 FOR DETAILS

UNIT 8 - UNIT TYPE 'E'
REFER SHEET DA05.5 FOR DETAILS

UNIT 9 - UNIT TYPE 'F'
REFER SHEET DA05.6 FOR DETAILS

NOTE : REFER TO INDIVIDUAL UNIT LAYOUTS FOR UNIT SPECIFIC INFORMATION

issue	revision/reason for issue	date
H	AMENDED DA APPLICATION	10.06.14
G	REDESIGN LDRY - UNIT TYPE A, B & C	08.05.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

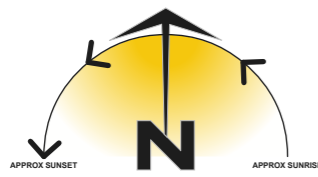
45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
MASTER FIRST FLOOR LAYOUT PLAN

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA04.2 **H** REVISION

PLOT DATE Tuesday, June 10, 2014
 THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

MASTER FIRST FLOOR UNIT PLAN
SCALE @ 1:200 @ A3



NOTE : REFER TO INDIVIDUAL UNIT LAYOUTS FOR UNIT SPECIFIC INFORMATION

H	AMENDED DA APPLICATION	10.06.14
G	REDESIGN LDRY - UNIT TYPE A, B & C	08.05.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue	revision/reason for issue	date
-------	---------------------------	------

45 MOORE STREET UNITS
K5B DEVELOPMENTS
LOT 496 (#45) MOORE STREET, PORT HEDLAND
MASTER SECOND FLOOR LAYOUT PLAN

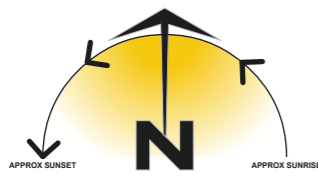
designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA04.3 **H** REVISION

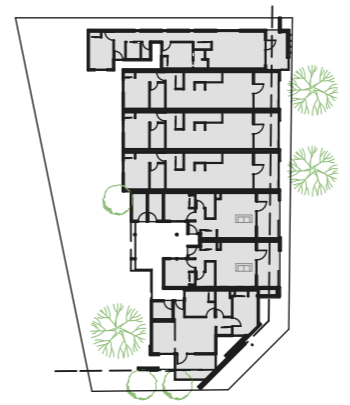
PLOT DATE Tuesday, June 10, 2014
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

MASTER SECOND FLOOR UNIT PLAN

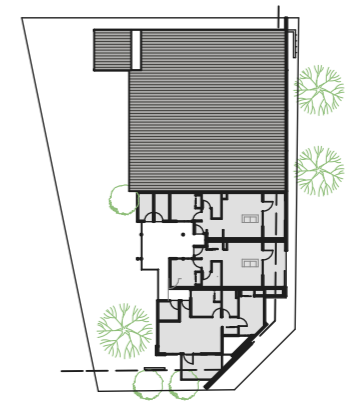
SCALE @ 1:200 @ A3



GROUND FLOOR KEY PLAN - NTS



FIRST FLOOR KEY PLAN - NTS



SECOND FLOOR KEY PLAN - NTS

GROUND FLOOR

SCALE @ 1:100 @ A3

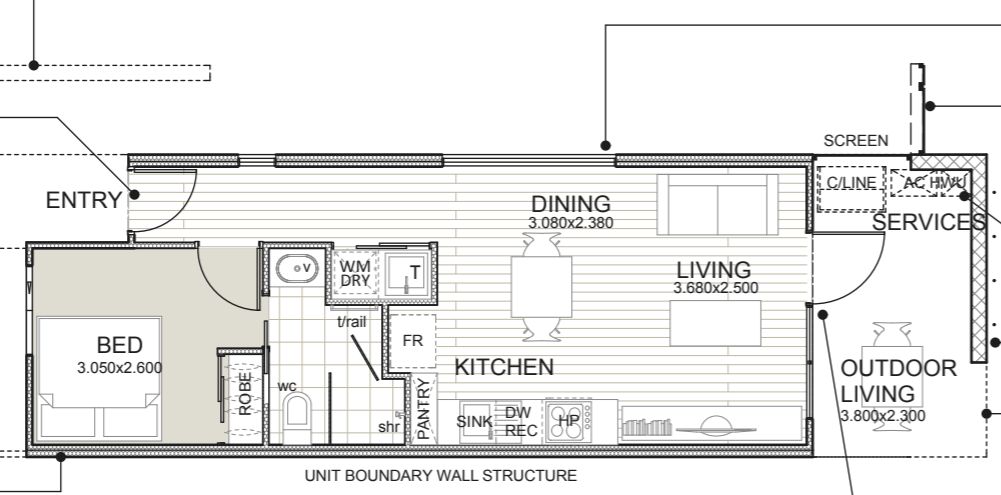
CEILING LINED ON FLAT @ 2700 AFFL UNO

BOUNDARY WALL
NORTHERN SCREEN
WALL - REFER SITE
PLAN FOR DETAILS

SWING DOOR WITH
SELF CLOSER

LINE OF STAIRCASE
STRUCTURE - REFER
SITE PLANS

LINE OF ADJACENT
UNIT



FIXED NORTHERN
WINDOWS

SCREEN FENCE AND
GATE. WALL
STRUCTURE OVER

HWU & A/CON
SERVICES SCREENED
FROM VIEW

FEATURE GREEN WALL
LANDSCAPING - REFER
DETAILED SITE PLANS

LINE OF FLOOR
STRUCTURE OVER

SWING DOOR WITH
SELF CLOSER - FIXED
WINDOW SIDELIGHTS

UNIT TYPE 'A'

UNIT 1 ONLY



FLOOR AREAS

OVERALL FLOOR AREA	40.031 m ²
FLOOR AREA LIVING (FA)	36.240 m²
STORE	4.00m ²
ENTRY	1.569 m ²
OUTDOOR LIVING	9.202 m ²
AREA TOTAL	54.802m²

WESTEND POLICY TOWN OF PORTHEDLAND
FLOOR AREA CALCULATION - EXCLUDES
CARPARKING, ENTRY, SERVICE YARDS,
SERVICES DUCTS, EXTERNAL WALLS AND
VOIDS

REFER MASTER UNIT LAYOUT
PLANS DA04.01, DA04.02 & DA04.3
FOR ALL FINISHED FLOOR
LEVELS RELATIVE TO SITE R.L.

UNIT TYPE 'A' LAYOUT PLAN

H	AMENDED DA APPLICATION	10.06.14
G	REDESIGN LDRY - UNIT TYPE A, B & C	08.05.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue	revision/reason for issue	date
-------	---------------------------	------

45 MOORE STREET UNITS
K5B DEVELOPMENTS

LOT 496 (#45) MOORE STREET, PORT HEDLAND
UNIT A FLOOR PLANS

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

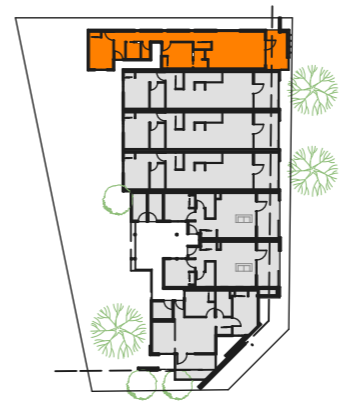
DA05.1 **H** REVISION

PLOT DATE Tuesday, June 10, 2014

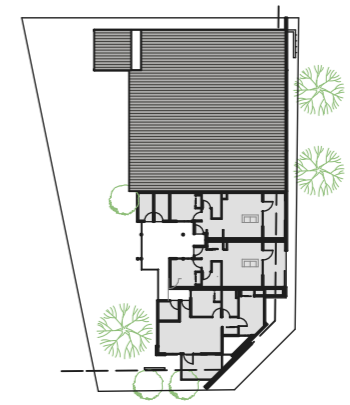
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



GROUND FLOOR KEY PLAN - NTS



FIRST FLOOR KEY PLAN - NTS

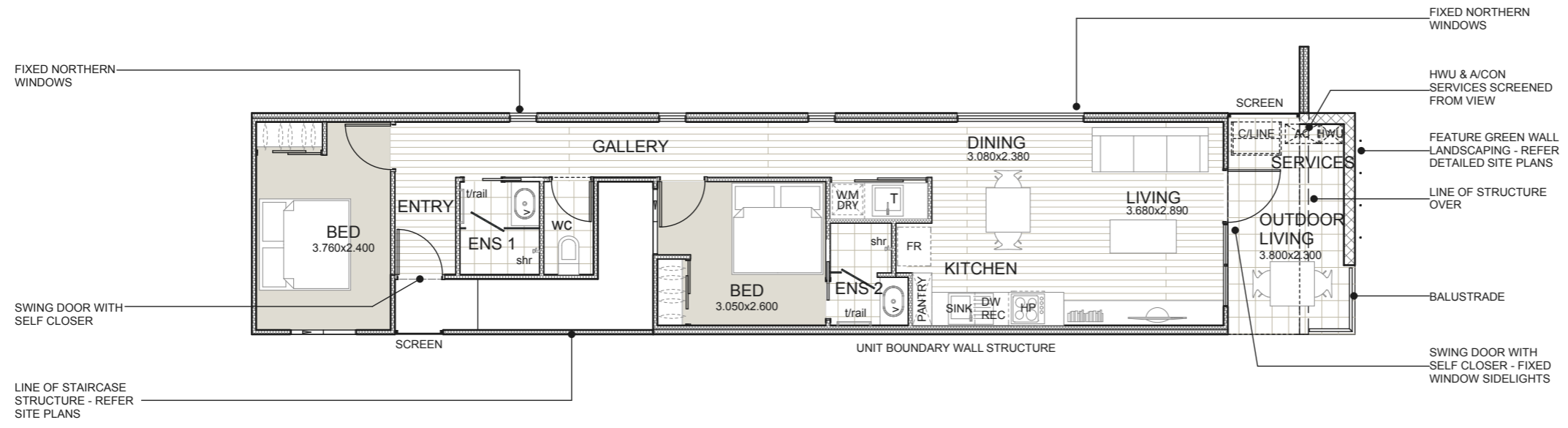


SECOND FLOOR KEY PLAN - NTS

FIRST FLOOR FLOOR

SCALE @ 1:100 @ A3

CEILING LINED ON FLAT @ 2700 AFFL UNO



UNIT TYPE 'B'
UNIT 2 ONLY

FLOOR AREAS

OVERALL FLOOR AREA	40.031 m ²
FLOOR AREA LIVING (FA)	36.240 m²
STORE	4.00m ²
ENTRY	1.569 m ²
OUTDOOR LIVING	9.202 m ²
FLOOR AREA TOTAL	54.226m²

WESTEND POLICY TOWN OF PORTHEDLAND
FLOOR AREA CALCULATION - EXCLUDES
CARPARKING, ENTRY, SERVICE YARDS,
SERVICES DUCTS, EXTERNAL WALLS AND
VOIDS

REFER MASTER UNIT LAYOUT
PLANS DA04.01, DA04.02 & DA04.3
FOR ALL FINISHED FLOOR
LEVELS RELATIVE TO SITE R.L.

I	AMENDED DA APPLICATION	10.06.14
H	UNIT REDESIGN 2x2 CLIENT REVIEW	04.06.14
G	REDESIGN LDRY - UNIT TYPE A, B & C	08.05.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue	revision/reason for issue	date
-------	---------------------------	------

45 MOORE STREET UNITS
K5B DEVELOPMENTS
LOT 496 (#45) MOORE STREET, PORT HEDLAND
UNIT B FLOOR PLANS

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA05.2

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

UNIT TYPE 'B' LAYOUT PLAN



UNIT TYPE C IS DELETED / REMOVED FROM DEVELOPMENT APPLICATION AND IS NOT APART OF PROPOSAL. UNIT NUMBERING AND ARCHITECTURAL SHEET RETAINED FOR CLARIFICATION

H	AMENDED DA APPLICATION	10.06.14
G	REDESIGN LDRY - UNIT TYPE A, B & C	08.05.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue	revision/reason for issue	date
-------	---------------------------	------

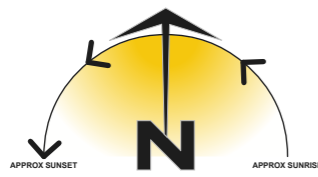
45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
UNIT C FLOOR PLANS

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

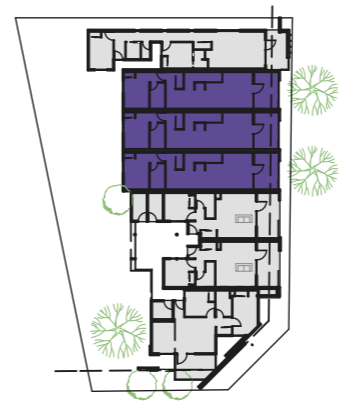
DA05.3 **H** REVISION

PLOT DATE Tuesday, June 10, 2014

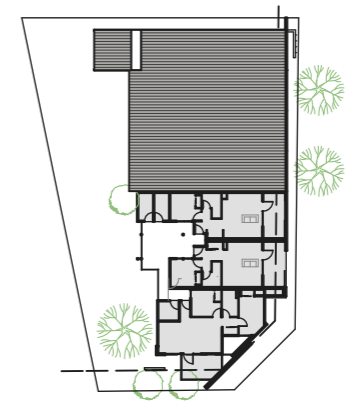
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



GROUND FLOOR KEY PLAN - NTS



FIRST FLOOR KEY PLAN - NTS

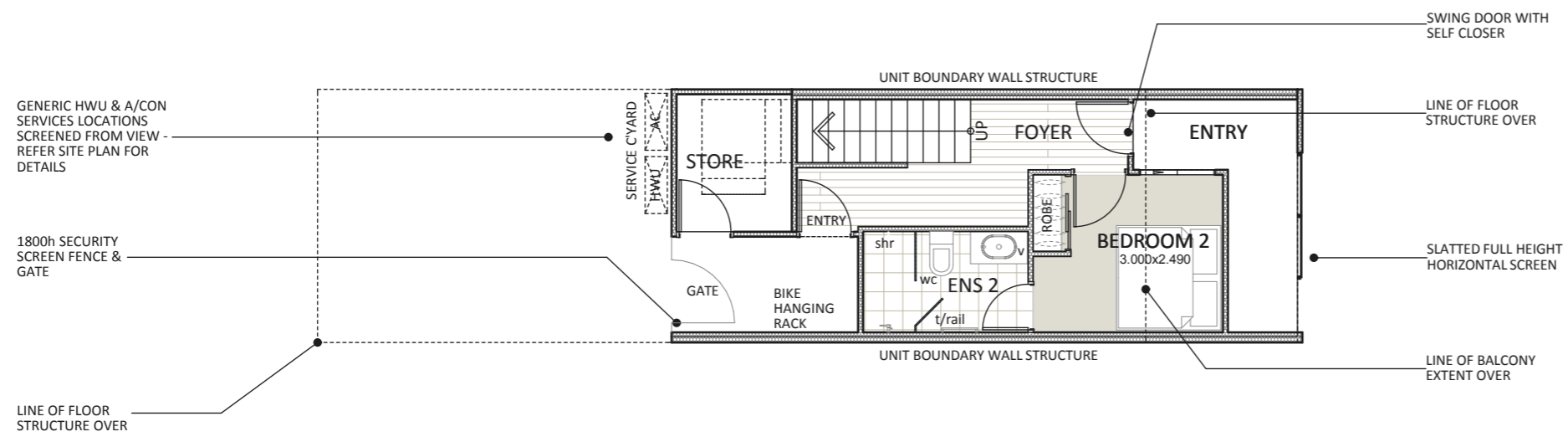


SECOND FLOOR KEY PLAN - NTS

GROUND FLOOR

SCALE @ 1:100 @ A3

CEILING LINED ON FLAT @ 2700 AFFL UNO



UNIT TYPE 'D'

UNITS 4, 5 & 6



FLOOR AREAS

GROUND FLOOR	23.750 m ²
GROUND FLOOR (FA)	21.359 m²
STORE	3.961 m ²
SERVICES COURTYARD	4.460 m ²
CARPPARKING (1 x bay)	
ENTRY	5.716 m ²
GROUND FLOOR TOTAL	39.599 m²
UPPER FLOOR	
UPPER FLOOR (FA)	87.05 m²
OUTDOOR LIVING	
SERVICES	2.329 m ²
UPPER FLOOR TOTAL	87.05 m²
FLOOR AREA TOTAL	87.05 m²
(FA) FLOOR AREA	73.994 m²

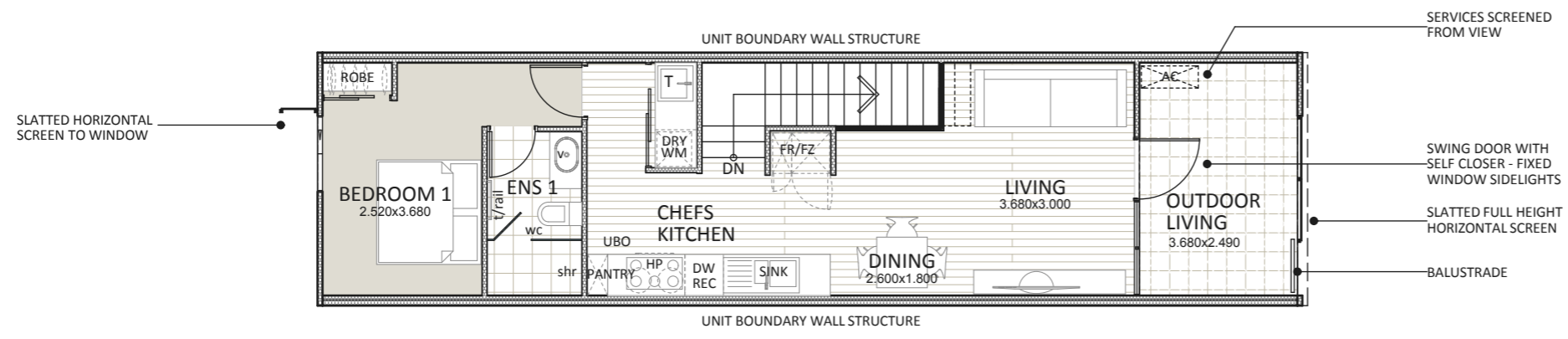
WESTEND POLICY TOWN OF PORTHEDLAND FLOOR AREA CALCULATION - EXCLUDES CARPPARKING, ENTRY, SERVICE YARDS, SERVICES DUCTS, EXTERNAL WALLS AND VOIDS

REFER MASTER UNIT LAYOUT PLANS DA04.01, DA04.02 & DA04.3 FOR ALL FINISHED FLOOR LEVELS RELATIVE TO SITE R.L.

UPPER FLOOR

SCALE @ 1:100 @ A3

CEILING LINED ON FLAT @ 2700 AFFL UNO



UNIT TYPE 'D' LAYOUT PLAN

G	AMENDED DA APPLICATION	10.06.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue revision/reason for issue date

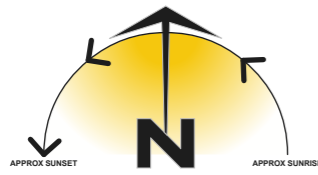
45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
UNIT D FLOOR PLANS

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

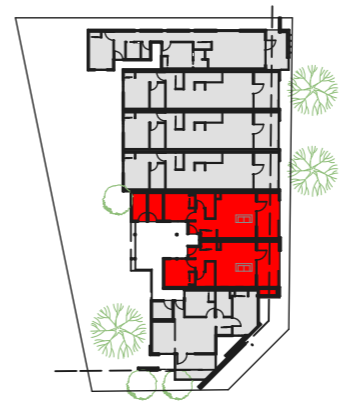
DA05.4

PLOT DATE Tuesday, June 10, 2014

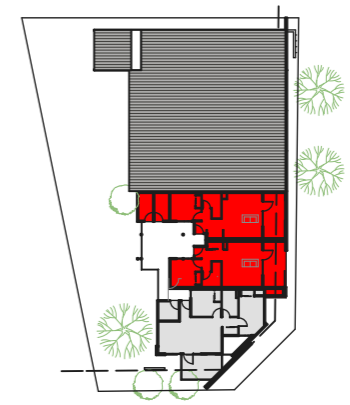
THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



GROUND FLOOR KEY PLAN - NTS



FIRST FLOOR KEY PLAN - NTS



SECOND FLOOR KEY PLAN - NTS

FIRST & SECOND FLOOR

SCALE @ 1:100 @ A3

CEILING LINED ON FLAT @ 2700 AFFL UNO

UNIT TYPE 'E'

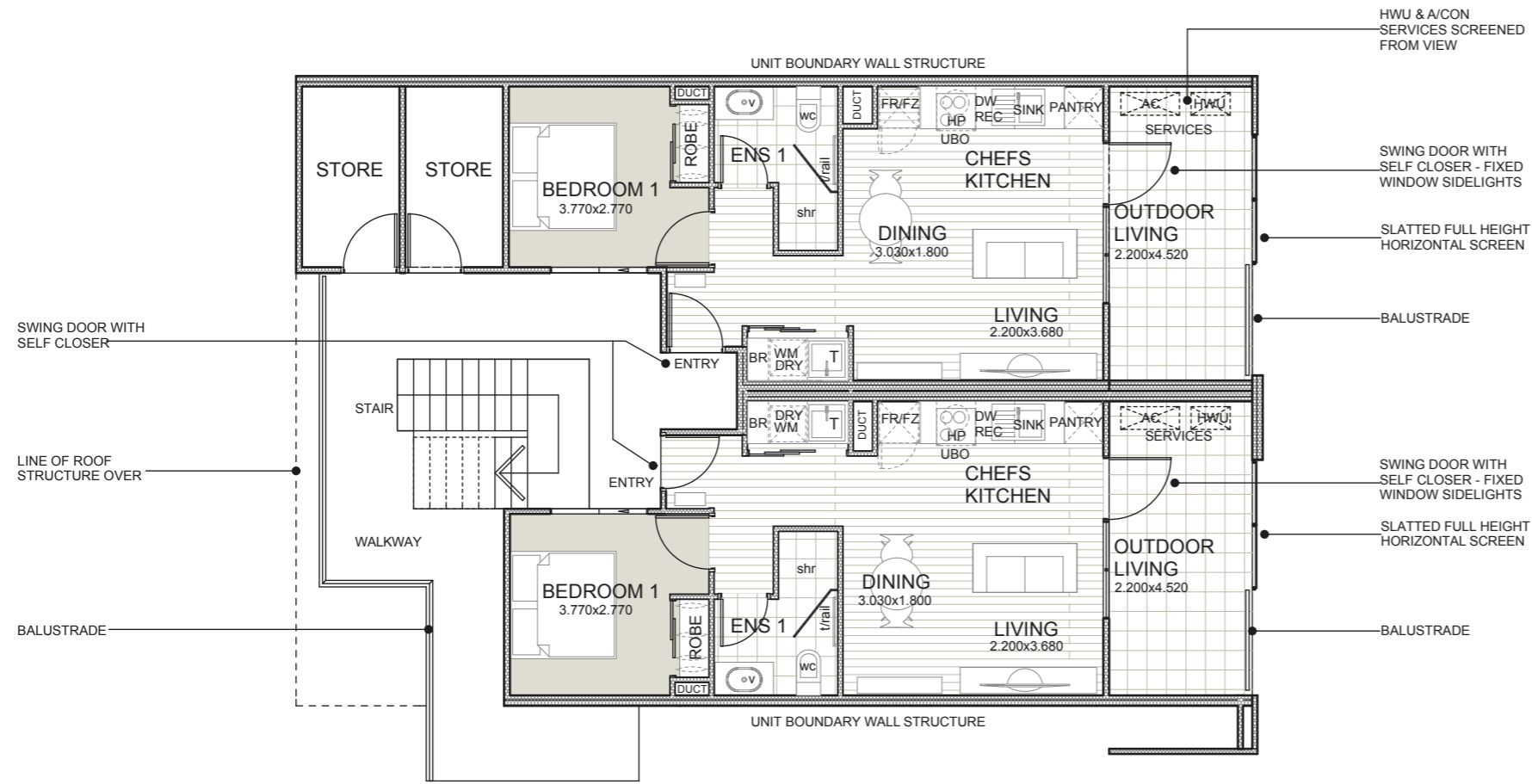
GENERIC 1 BED
(UNITS 7, 8, 10, 11)
LEFT & RIGHT CONFIGURATION SHOWN

FLOOR AREAS

OVERALL FLOOR AREA	40.006 m ²
FLOOR AREA LIVING (FA)	36.441 m²
STORE	4.167 m ²
OUTDOOR LIVING	9.944 m ²
FLOOR AREA TOTAL	55.469 m²

WESTEND POLICY TOWN OF PORTHEDLAND
FLOOR AREA CALCULATION - EXCLUDES
CARPARKING, ENTRY, SERVICE YARDS,
SERVICES DUCTS, EXTERNAL WALLS AND
VOIDS

REFER MASTER UNIT LAYOUT
PLANS DA04.01, DA04.02 & DA04.3
FOR ALL FINISHED FLOOR
LEVELS RELATIVE TO SITE R.L.



G	AMENDED DA APPLICATION	10.06.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue	revision/reason for issue	date
-------	---------------------------	------

45 MOORE STREET UNITS
K5B DEVELOPMENTS
LOT 496 (#45) MOORE STREET, PORT HEDLAND
UNIT E FLOOR PLANS

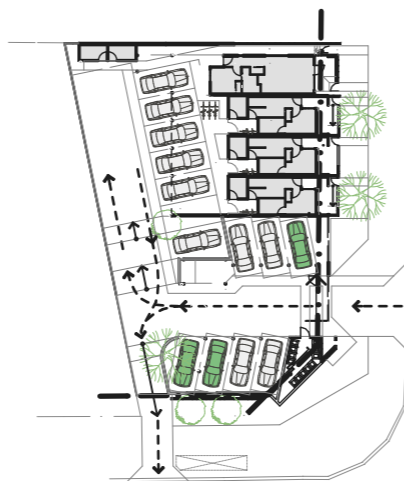
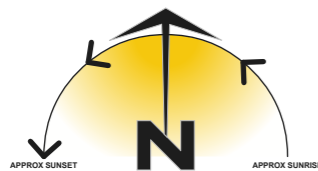
designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA05.5

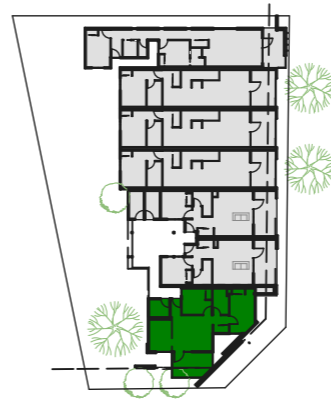
PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

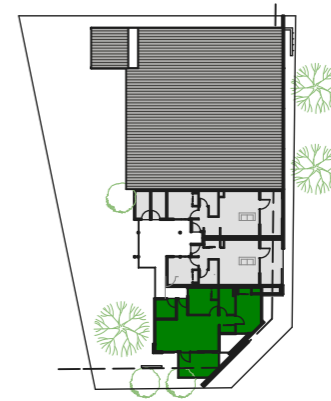
UNIT TYPE 'E' LAYOUT PLAN



GROUND FLOOR KEY PLAN - NTS



FIRST FLOOR KEY PLAN - NTS



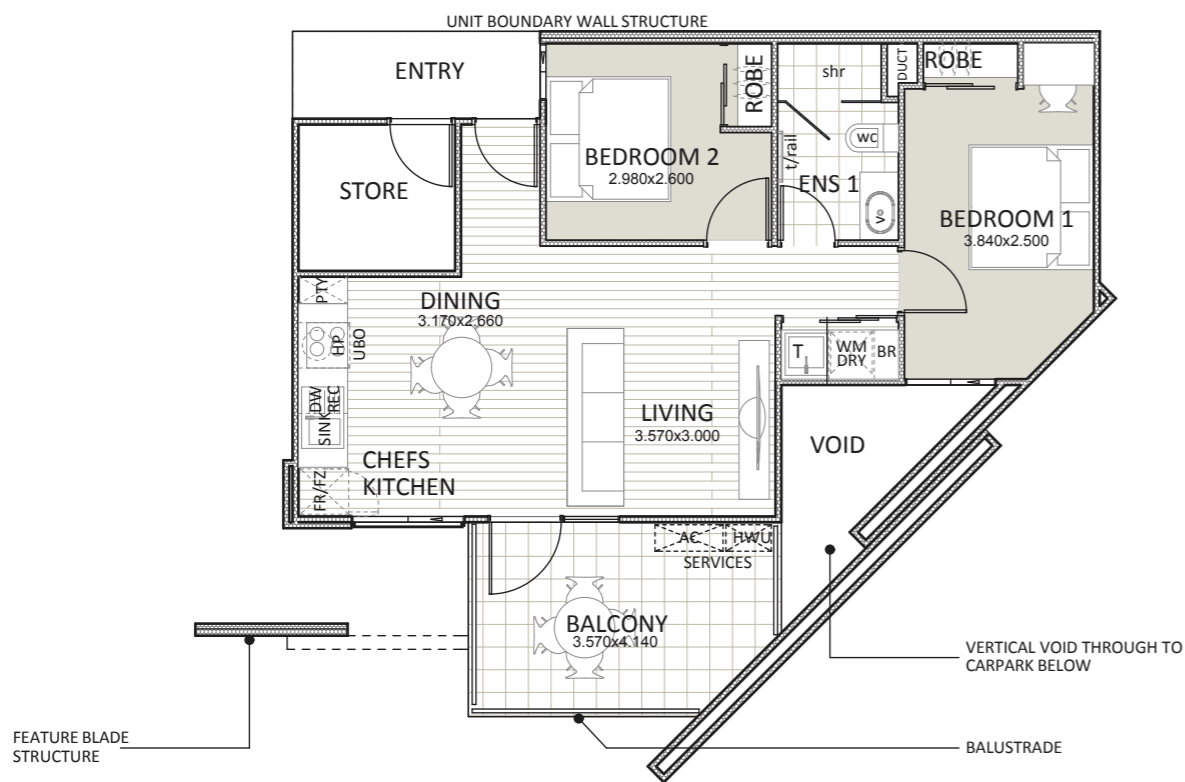
SECOND FLOOR KEY PLAN - NTS

45 on MOORE

FIRST & SECOND FLOOR LAYOUT

SCALE @ 1:100 @ A3

CEILING LINED ON FLAT @ 2700 AFFL UNO



UNIT TYPE 'F'
UNITS 9 & 12 ONLY

FLOOR AREAS

FLOOR AREA	49.941 m ²
FLOOR AREA LIVING (FA)	53.363 m²
STORE	4.009 m ²
OUTDOOR LIVING (TOTAL)	10.025 m ²
ENTRY	3.779 m ²
OVERALL FLOOR AREA	71.515 m²

WESTEND POLICY TOWN OF PORTHEDLAND
FLOOR AREA CALCULATION - EXCLUDES
CARPARKING, ENTRY, SERVICE YARDS, SERVICES
DUCTS, EXTERNAL WALLS AND VOIDS

REFER MASTER UNIT LAYOUT
PLANS DA04.01, DA04.02 &
DA04.3 FOR ALL FINISHED FLOOR
LEVELS RELATIVE TO SITE R.L.

UNIT TYPE 'F' LAYOUT PLAN

G	AMENDED DA APPLICATION	10.06.14
F	DEVELOPMENT APPLICATION	09.02.14
E	FINAL BUILDER & CONSULT. REVIEW	19.01.14
D	MECH CONSULTANT - DUST MITIGATION	05.12.13
C	MECH CONSULTANT - DUST MITIGATION	07.11.13

issue	revision/reason for issue	date
-------	---------------------------	------

45 MOORE STREET UNITS
K5B DEVELOPMENTS
LOT 496 (#45) MOORE STREET, PORT HEDLAND
UNIT F FLOOR PLANS

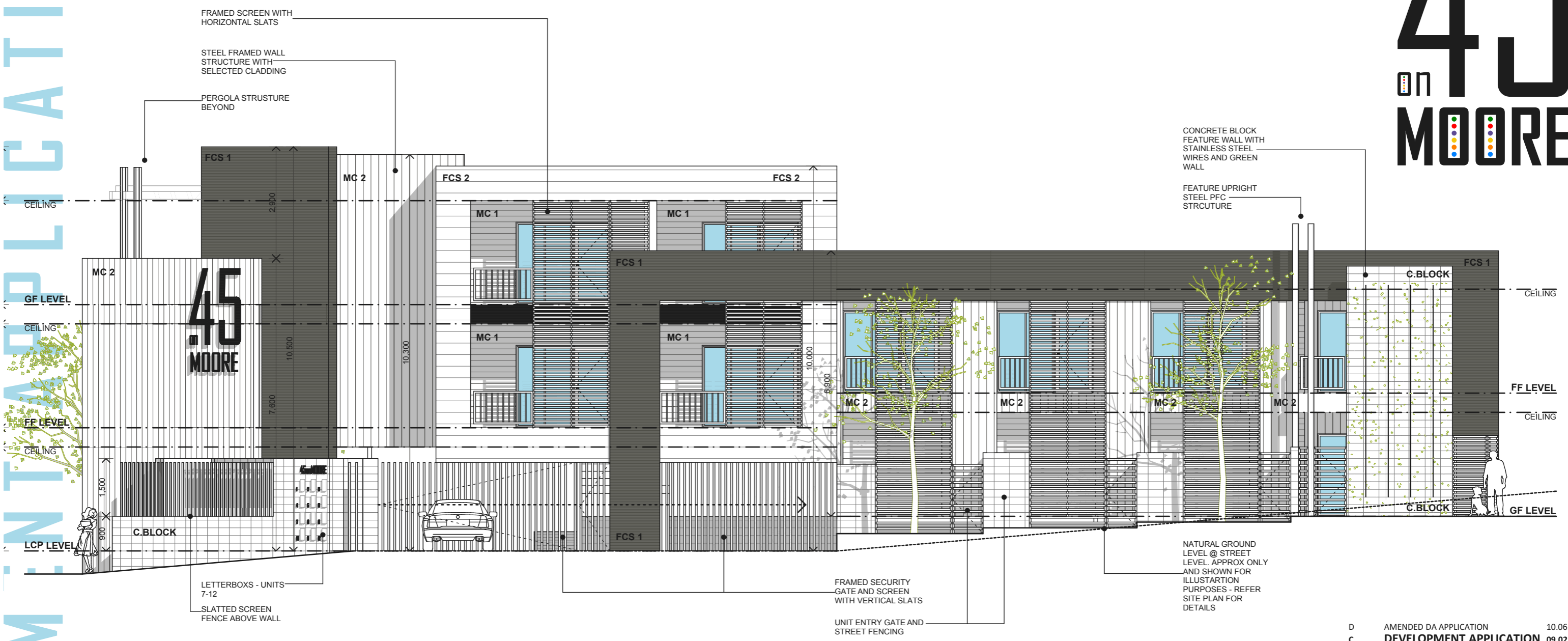
designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA05.6



PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



SIMPSON STREET ELEVATION EASTERN ELEVATION

SCALE @ 1:100 @ A3

FINISHES LEGEND

- FCS 1** FIBERCEMENT CLADDING 1
- FCS 2** FIBERCEMENT CLADDING 2 - HORIZONTAL PATTERN
- MC1** METAL WALL CLADDING 1 - COLORBOND CLADDING IN HORIZONTAL PATTERN
- MC2** METAL WALL CLADDING 2 - COLORBOND CLADDING IN VERTICAL PATTERN
- C.BLOCK** CONCRETE BLOCK MASONRY - 200 SERIES CONCRETE BLOCK OR SIMILAR

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT.REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

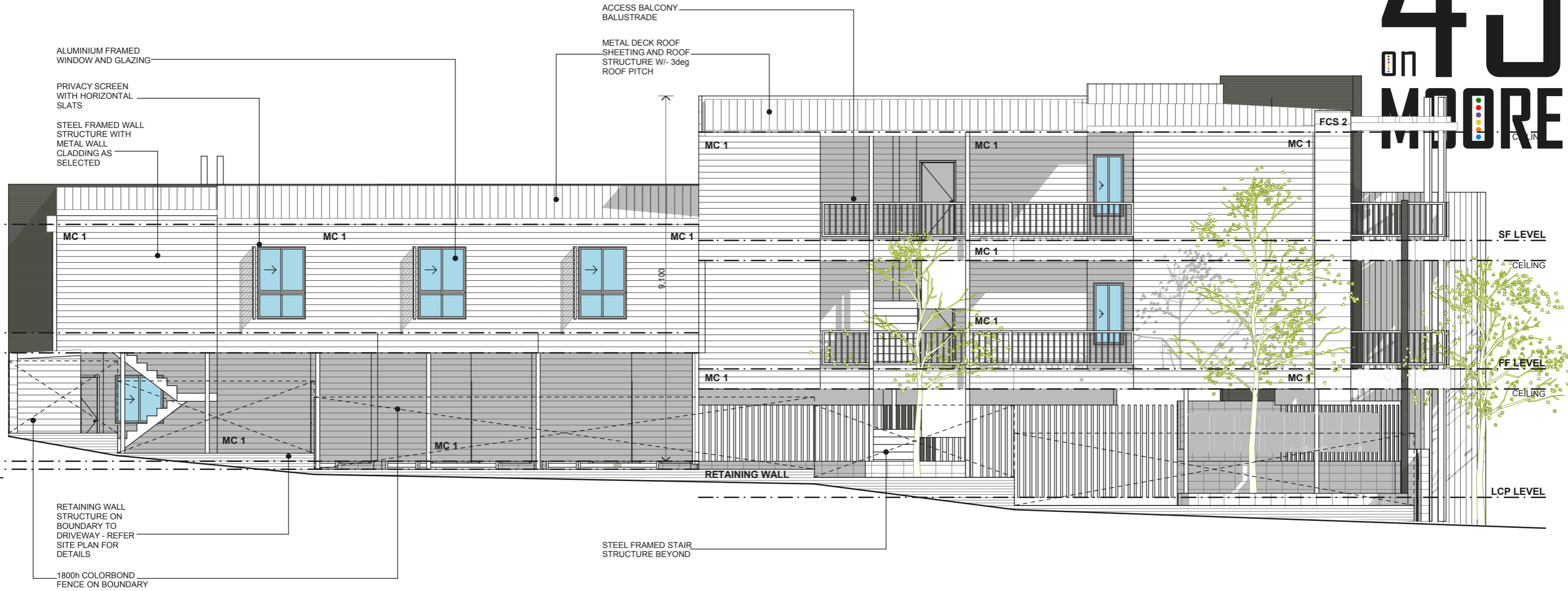
issue revision/reason for issue date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
 EASTERN ELEVATION (SIMPSON STREET)

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA06.1 **D** REVISION

PLOT DATE Tuesday, June 10, 2014
 THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



WESTERN ELEVATION

SCALE @ 1:100 @ A3

FINISHES LEGEND

- FCS 1** FIBERCEMENT CLADDING 1
- FCS 2** FIBERCEMENT CLADDING 2 - HORIZONTAL PATTERN
- MC1** METAL WALL CLADDING 1 - COLORBOND CLADDING IN HORIZONTAL PATTERN
- MC2** METAL WALL CLADDING 2 - COLORBOND CLADDING IN VERTICAL PATTERN
- C.BLOCK** CONCRETE BLOCK MASONRY - 200 SERIES CONCRETE BLOCK OR SIMILAR

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

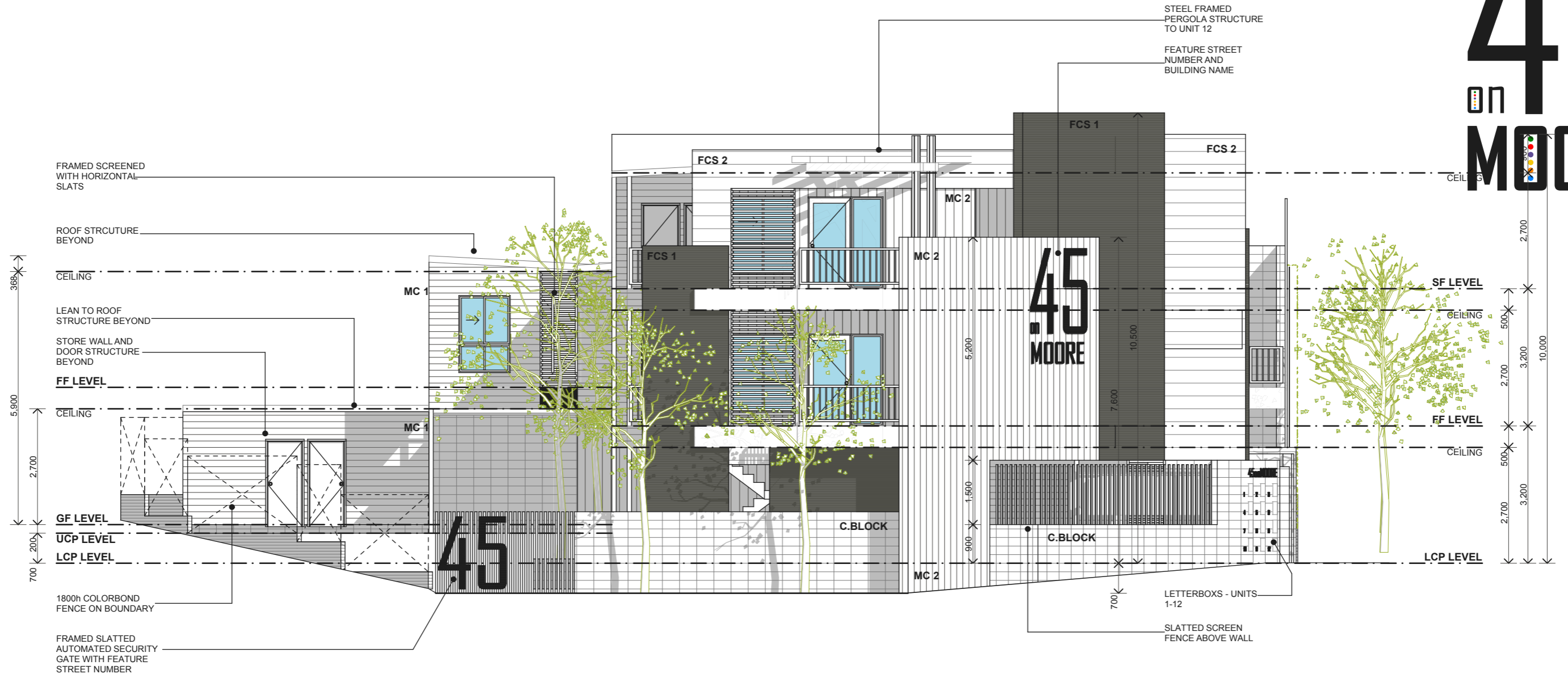
issue revision/reason for issue date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
WESTERN ELEVATION

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA06.2 **D** REVISION

PLOT DATE Tuesday, June 10, 2014
 THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



MOORE STREET ELEVATION SOUTHERN ELEVATION

SCALE @ 1:100 @ A3

FINISHES LEGEND

- FCS 1** FIBERCEMENT CLADDING 1
- FCS 2** FIBERCEMENT CLADDING 2 - HORIZONTAL PATTERN
- MC1** METAL WALL CLADDING 1 - COLORBOND CLADDING IN HORIZONTAL PATTERN
- MC2** METAL WALL CLADDING 2 - COLORBOND CLADDING IN VERTICAL PATTERN
- C.BLOCK** CONCRETE BLOCK MASONRY - 200 SERIES CONCRETE BLOCK OR SIMILAR

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT. REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

issue revision/reason for issue date

45 MOORE STREET UNITS

K5B DEVELOPMENTS

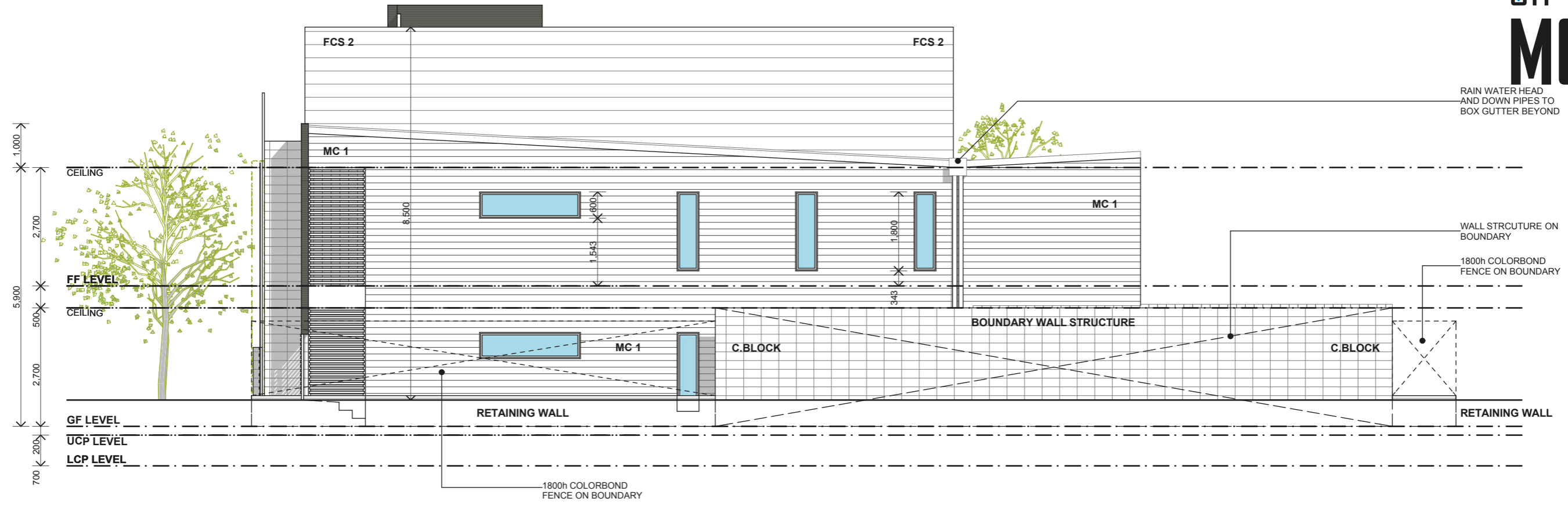
LOT 496 (#45) MOORE STREET, PORT HEDLAND
SOUTHERN ELEVATION (MOORE STREET)

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA06.3 **D** REVISION

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



RAIN WATER HEAD AND DOWN PIPES TO BOX GUTTER BEYOND

WALL STRUCTURE ON BOUNDARY

1800h COLORBOND FENCE ON BOUNDARY

BOUNDARY WALL STRUCTURE

RETAINING WALL

RETAINING WALL

1800h COLORBOND FENCE ON BOUNDARY

NORTEHRN ELEVATION

SCALE @ 1:100 @ A3

FINISHES LEGEND

- FCS 1 FIBERCEMENT CLADDING 1
- FCS 2 FIBERCEMENT CLADDING 2 - HORIZONTAL PATTERN
- MC1 METAL WALL CLADDING 1 - COLORBOND CLADDING IN HORIZONTAL PATTERN
- MC2 METAL WALL CLADDING 2 - COLORBOND CLADDING IN VERTICAL PATTERN
- C.BLOCK CONCRETE BLOCK MASONRY - 200 SERIES CONCRETE BLOCK OR SIMILAR

D	AMENDED DA APPLICATION	10.06.14
C	DEVELOPMENT APPLICATION	09.02.14
B	FINAL BUILDER & CONSULT.REVIEW	19.01.14
A	PRELIMINARY ISSUE	18.06.13

issue revision/reason for issue date

45 MOORE STREET UNITS
K5B DEVELOPMENTS

LOT 496 (#45) MOORE STREET, PORT HEDLAND
NORTHERN ELEVATION

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA06.4

D REVISION

PLOT DATE Tuesday, June 10, 2014

THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

DEVELOPMENT APPLICATION

45
on
MOORE



STREET PERSPECTIVE 'A' MOORE STREET

NTS

B	AMENDED DA APPLICATION	10.06.14
A	DEVELOPMENT APPLICATION	09.02.14
issue	revision/reason for issue	date

45 MOORE STREET UNITS
K5B DEVELOPMENTS

LOT 496 (#45) MOORE STREET, PORT HEDLAND
 STREET PERSPECTIVE A (MOORE STREET)

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA07.1 **B** REVISION

PLOT DATE Tuesday, June 10, 2014
 THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



45 on MOORE

45onMOORE

STREET PERSPECTIVE 'B'

NTS

B	AMENDED DA APPLICATION	10.06.14
A	DEVELOPMENT APPLICATION	09.02.14
issue	revision/reason for issue	date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
STREET PERSPECTIVE B

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA07.2

B

REVISION

PLOT DATE Tuesday, June 10, 2014
 THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR



B	AMENDED DA APPLICATION	10.06.14
A	DEVELOPMENT APPLICATION	09.02.14
issue	revision/reason for issue	date

45 MOORE STREET UNITS
K5B DEVELOPMENTS
 LOT 496 (#45) MOORE STREET, PORT HEDLAND
 STREET PERSPECTIVE C (SIMPSON STREET)

designed	CA/FB	drawn	CA/FB
scale	AS SHOWN ON DRAWINGS	start date	2013
status	DEV. APPLICATION	checked	TB/CA

DA07.3 **B** REVISION

PLOT DATE Tuesday, June 10, 2014
 THESE DOCUMENTS ARE THE SOLE PROPERTY OF K5B DEVELOPMENTS PTY LTD AND SHALL NOT BE REPRODUCED IN ANY MANNER WITHOUT AUTHORISATION FROM THE DIRECTOR

STREET PERSPECTIVE 'C' SIMPSON STREET

NTS